

The image shows the facade of a modern building, Thames Tower, with a repeating pattern of windows and red brickwork. An orange circle is overlaid on the top left, containing the text 'ALL FLOORS FULLY LET'.

×
**ALL
FLOORS
FULLY
LET**
×

Thames Tower

Work urban Connect to everywhere Embrace people Think sustainable Be open-minded Create difference **Thames Tower**

From co-working space and coffee in reception right up to 'Roost', the effortlessly-stylish communal 14th floor clubroom and garden (more about that later!), Thames Tower provides the most exceptional working environment available in Reading today.

Eclectic but like-minded businesses naturally interact with one another, in spaces that meet their individual commercial needs, while providing a stimulating and enjoyable place to work.

Thames Tower provides office accommodation totalling 186,218 sq ft (17,292 sq m) with floors of 14,000 sq ft (1,300 sq m).



Thames Tower viewed across the new Station Plaza.



Located directly opposite Reading Station, on the newly developed and pedestrianised Station Plaza, Thames Tower acts as a high-profile, landmark welcoming visitors to Reading.





A big hello.

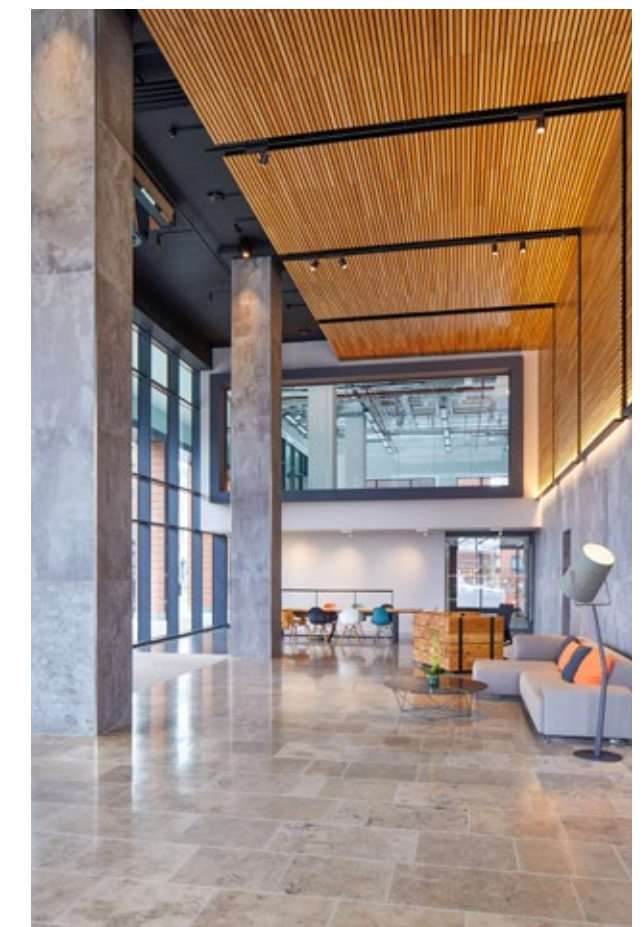
The drama of the building unfolds as you enter through its three metre revolving doors into the light filled reception.

The restaurants, cafés and co-working spaces animate the dynamic, double-height space, creates the ultimate, contemporary first impression.

Meanwhile, our concierge team will be on hand to solve problems, provide access to a multitude of services and generally smooth the wrinkles out of a busy working day.



Thames Tower reception experience.



Going up.

The journey through the building begins in the stylish lift lobbies where they set the tone of the workspace fourteen floors above.



Big space with bigger views.



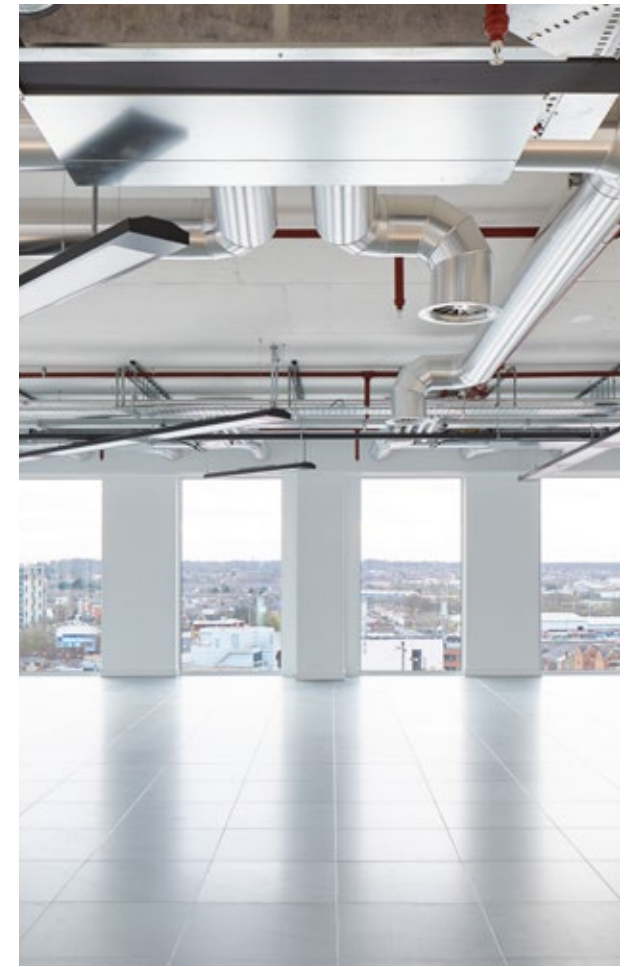
Views over Reading (and Kevin, our pest control Kestrel).



Typical floor.



360° floor to ceiling glazing.







The cherry on top.

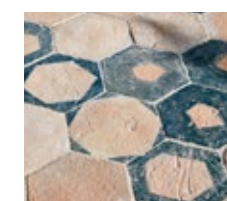
Roost, the communal clubroom and garden located on the 14th floor, provides an inspirational space for the building's occupiers to freely use.

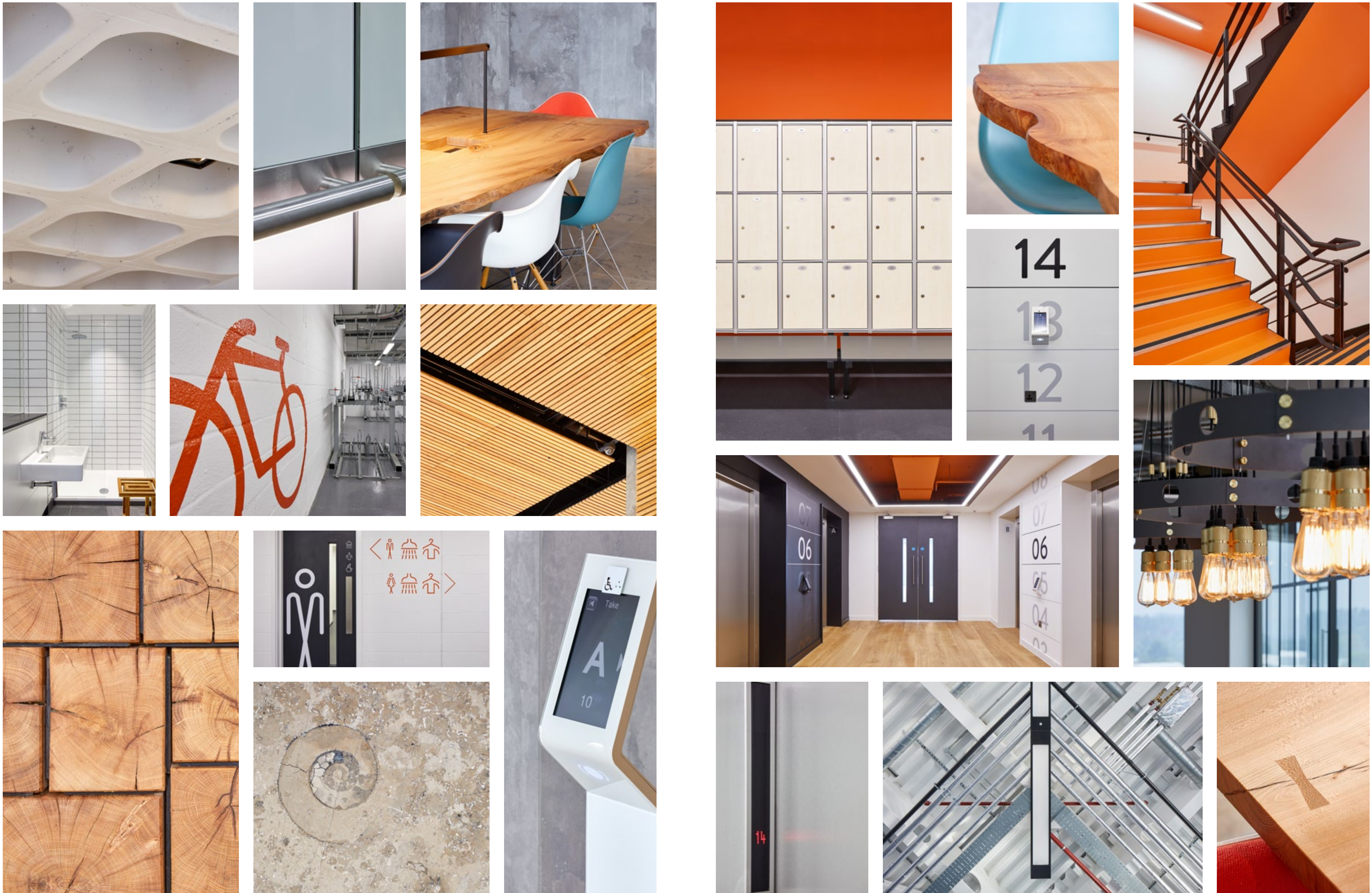
The space stylishly embraces natural materials, inside and out, to create the perfect environment for a casual meeting, an evening drink, or just to hang out for a while.

ROOST



Roost – 14th floor communal club room and garden.





High quality design and architectural details throughout the building.



Typical floor. Not-so-typical view.

THE ACCOMMODATION

The office accommodation is provided on fourteen upper floors above the street level reception. Panoramic 360 degree glazing and a generous floor-to-ceiling height of 3.1m on 1st–10th floors, 3.7m on 11th–13th floors and 4.1m on the 14th floor, provide volumes of natural light throughout the day.

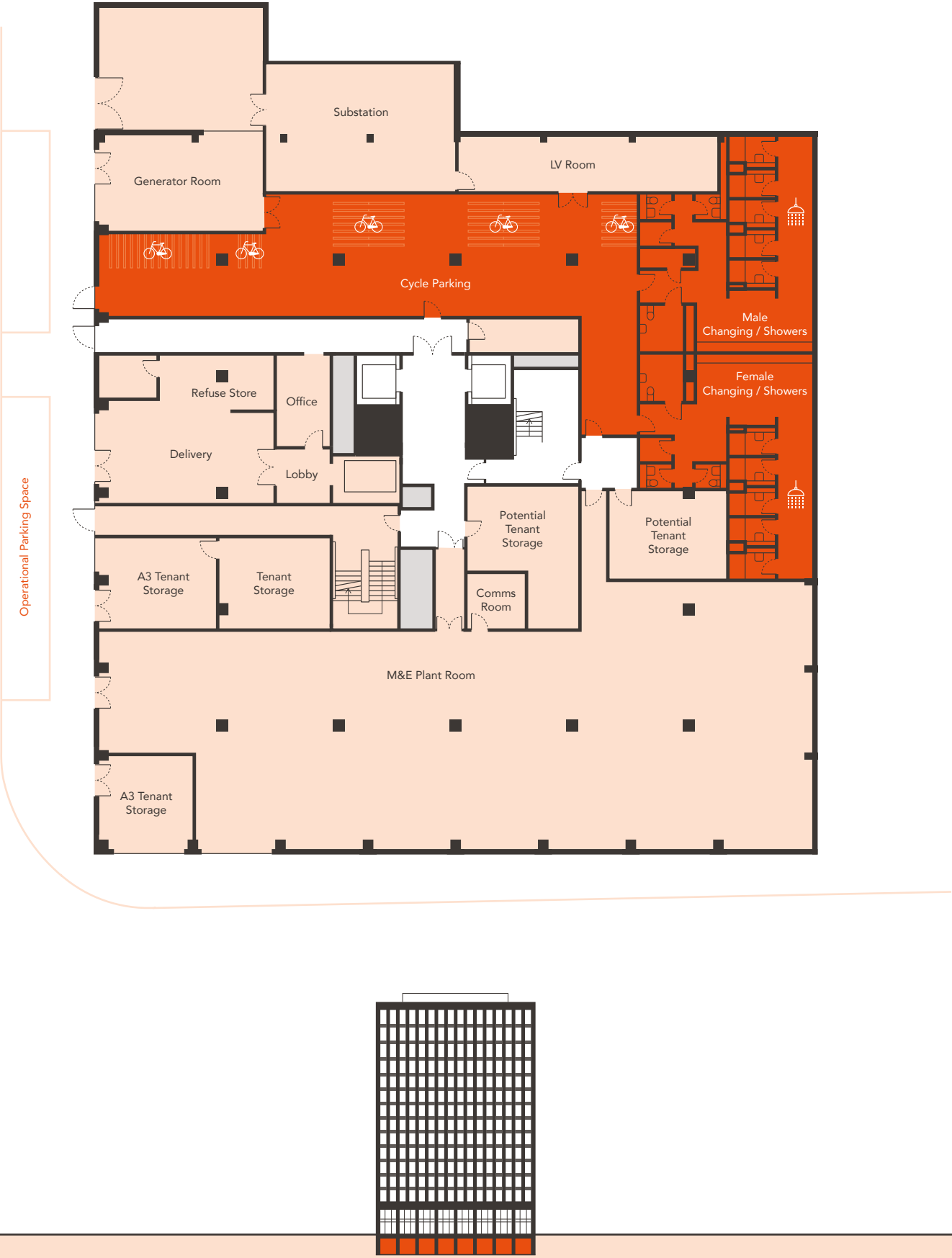
Designed with flexibility in mind, a typical 14,000 sq ft (1,300 sq m) floor can be sub-divided, allowing for companies to flex and grow, as and when needed.

IPMS3 Schedule	
Roost (private occupier club room)	
14th floor offices	Ericsson
13th floor offices	BMI
12th floor offices	BDO
11th floor offices	Austin Fraser
Part 10th floor offices	Objective Corp
Part 10th floor offices	ISIO
9th floor offices	Ericsson
8th floor offices	Ericsson
Part 7th floor offices	HSBC
Part 7th floor offices	Make a Wish
6th floor offices	MBNL
Part 5th floor offices	Clarks Legal
Part 5th floor offices	Nexus Planning
Part 5th floor offices	Broadway Malyan
4th floor offices	BMI
1st/2nd/3rd floor offices	Fora
Office total available	FULLY LET

IPMS3 – in accordance with the guidelines as described in the RICS Property Measurement, 1st Edition, May 2015

BASEMENT

104 cycle spaces / 12 showers / lockers



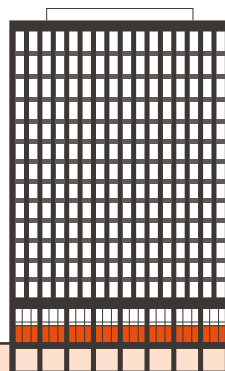
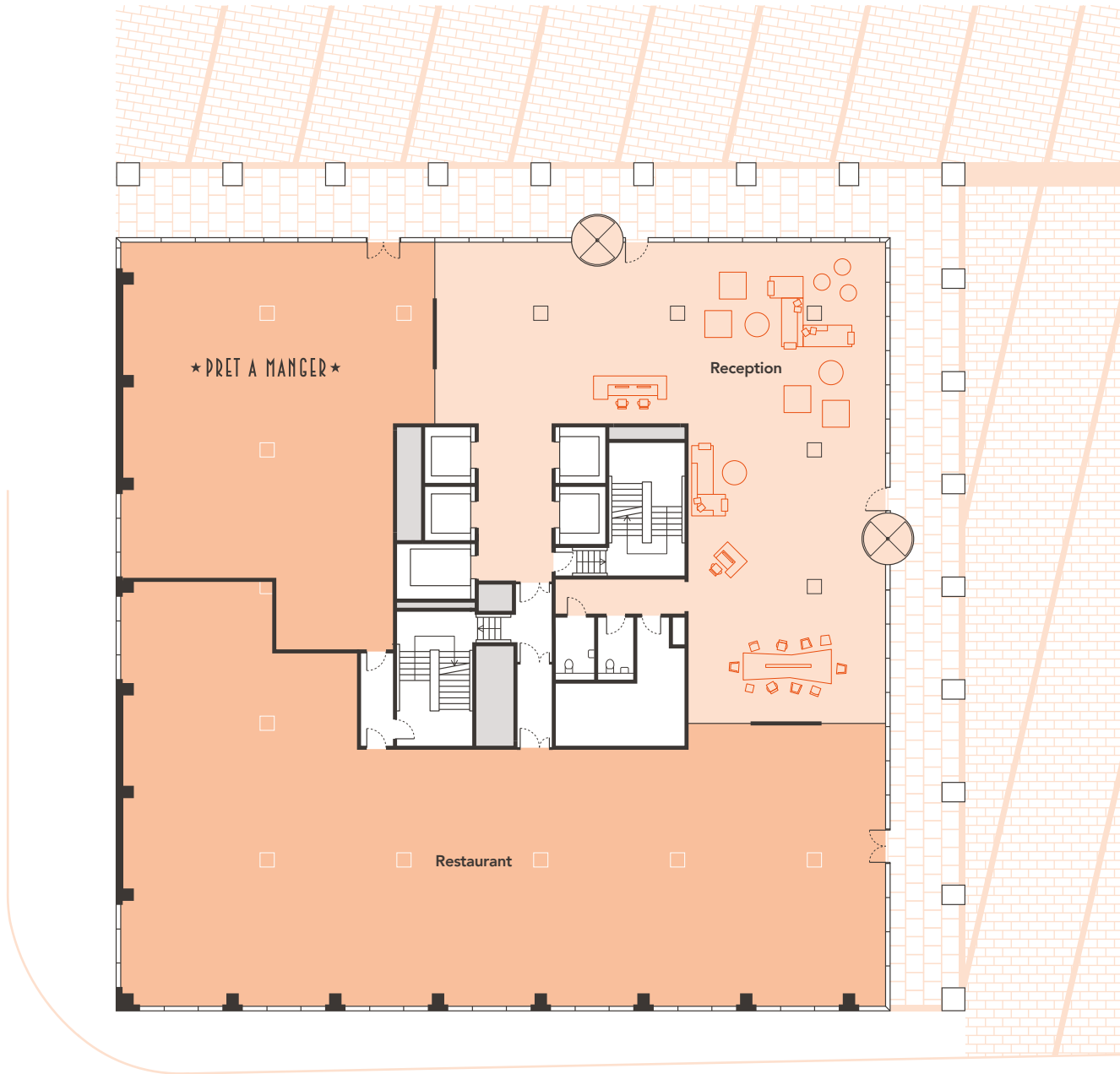
Plan not to scale. For indicative purposes only.



GROUND FLOOR



Double-height reception, restaurant and café



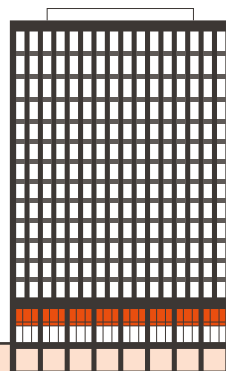
Plan not to scale. For indicative purposes only.



FIRST FLOOR



Offices: 8,688 sq ft / 807 sq m
Floor to ceiling height: 3.1m



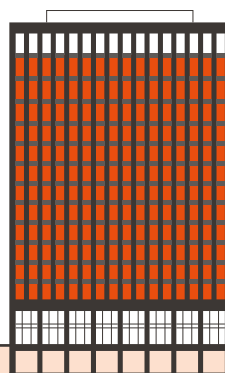
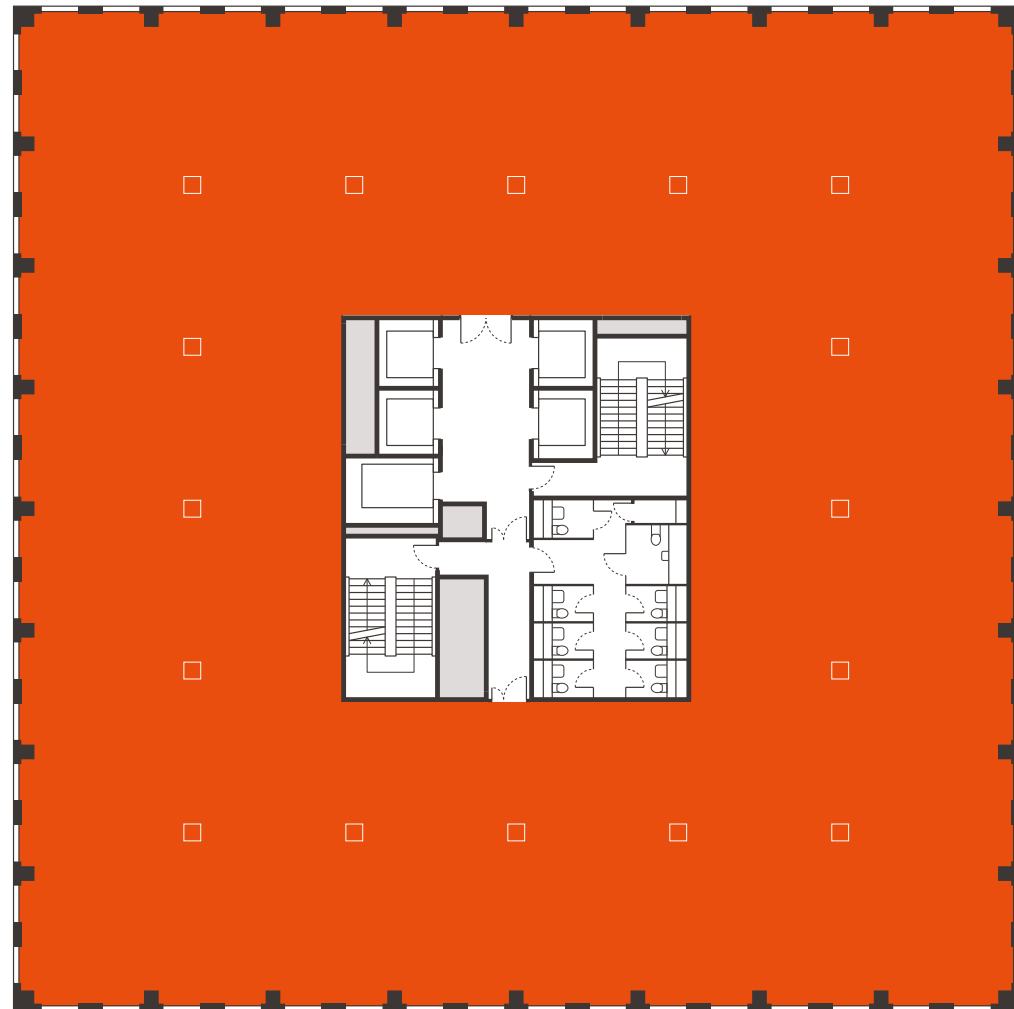
Plan not to scale. For indicative purposes only.



TYPICAL FLOOR



Offices: 14,000 sq ft / 1,300 sq m
Floor to ceiling height: 2nd – 10th floors: 3.1m
Floor to ceiling height: 11th – 13th floors: 3.7m



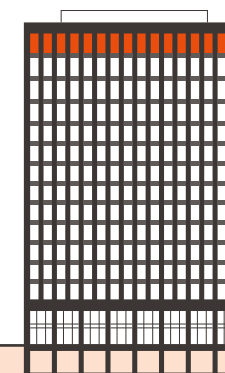
Plan not to scale. For indicative purposes only.



FOURTEENTH FLOOR



Offices: 9,530 sq ft / 885 sq m
Roost, communal club room & terrace
Floor to ceiling height: 4.1m



Plan not to scale. For indicative purposes only.

SPECIFICATION



12 SHOWERS &
CHANGING ROOMS



CONCIERGE
SERVICE



INTEGRATED
RESTAURANT / CAFÉ



104 SECURE
CYCLE SPACES



ENGINEERED
EXPOSED SERVICES



SUPER FAST PUBLIC
AREA BROADBAND

ROOST

14TH FLOOR
COMMUNAL SPACE



WIRED SCORE
'GOLD'

Specification includes

BREEAM: 'Very Good' / EPC: 'B'

Wired Score: 'Gold'

#receptiontoconnection: 42.5 seconds

Large double height reception with feature desk and lighting

Roost: communal sky garden with decked roof terrace area on the 14th floor

Flexible open floor plates with 360 degree panoramic views

Concierge provided by Portico / 24 hour security

Occupancy density – 1 person / 10m²

Lifts – 4 x lifts (17 passengers) / 1 x goods lift

104 cycle spaces

Shower facilities (6 x male / 6 x female) with locker and drying space

Double height colonnade and glazed façade in front of reception lobby
with direct access to restaurant / café on the ground floor

Broadband fibre connectivity to the building

Digital building management system (BMS)

Dedicated delivery access via basement level to all floors

Raised floor – 220mm O/A

Floor loadings – 2.5 + 1.0kN/m²

Floor voids – 150mm

Small power – 25W/m²

Contemporary exposed ceilings with suspended LED lighting
and high efficiency 4-pipe fan coil system

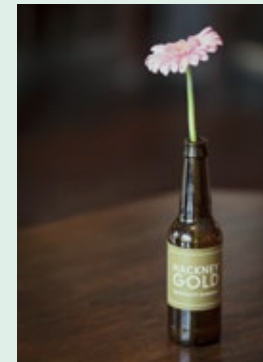
Lighting – 10W/m²

Additional tenant risers and tenant plant space

Low operating costs

On-site management and on-site electrical support





“Remember, we don’t stop playing because we grow old, we grow old because we stop playing”

~ Ricky Gervais, Reading-born comedian/film maker



Reading: young, smart & playful



Graduates make up more than a quarter of Reading's population and have clearly been influential in creating its unique landscape. With a median age of 33 (UK: 39), Reading appears to have been designed to offer many of the benefits usually associated with large cities, without the drawbacks. It's vibrant and cosmopolitan, with a playful undercurrent that infiltrates into its shops, bars and restaurants. The music in the bars is good, the independent coffee shops are cool and the choice of eateries is great. And if you want to step outside the town, you'll find mountain biking, hill walking, go karting and ballooning, along with some of the best watersports facilities in the country. Just an hour (direct) on the Elizabeth Line from the creative hotspots of Old Street and Clerkenwell, Reading shares a similar youthful exuberance and a joie de vivre that defines its social scene.

This new generation of creative talent has challenged the conventional ideas of the workplace and blurred the lines between work time and me-time. A sense of community and places to share it have become key. Wellbeing is driving a demand for a more-rounded working experience. And for a generation much more likely to own a bike than a car, a direct rail link into the Capital to gather and share inspiration is very high on the agenda. Reading has a culture shaped by its youth and embraced by its employers. It's a vibrant place to live and work, with something for everyone and a vibe unlike anywhere else in the Thames Valley.

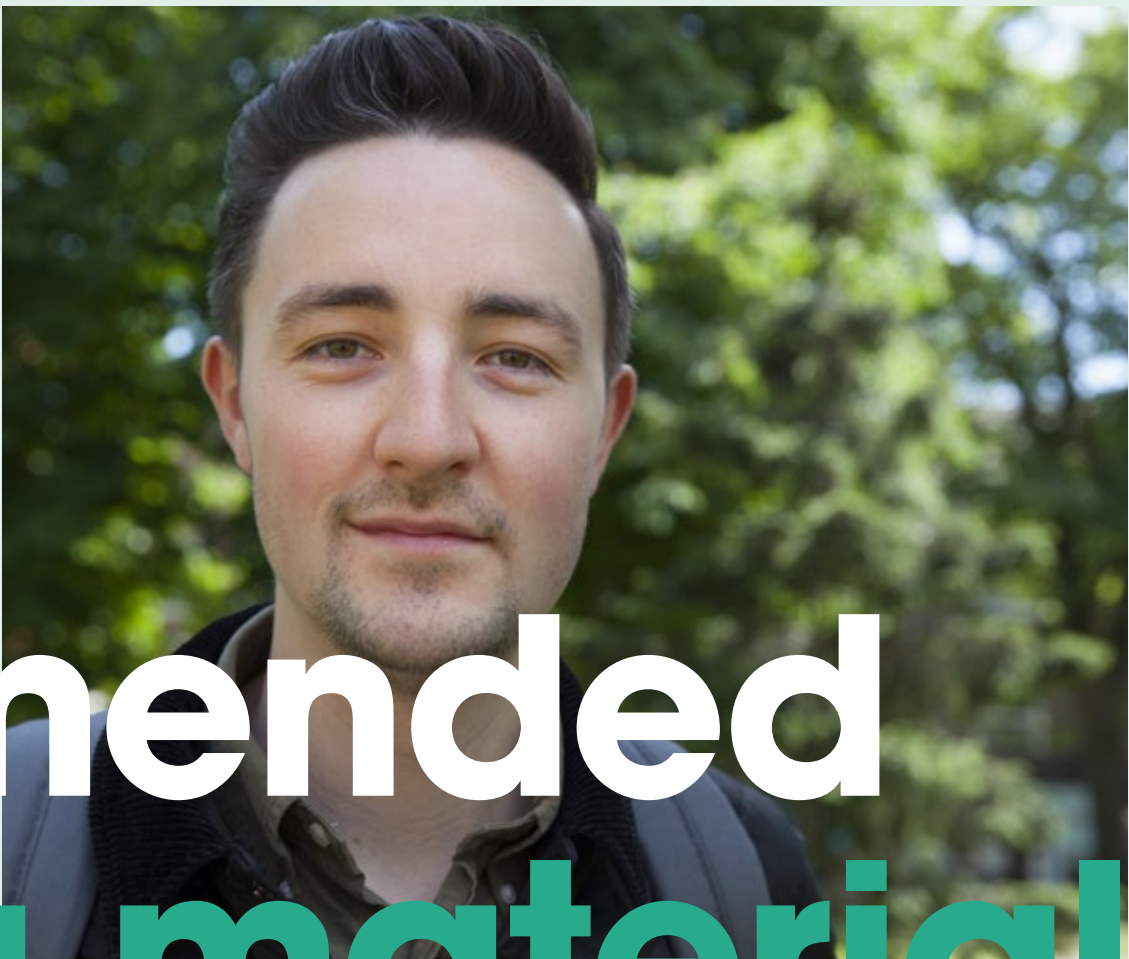


“There’s loads of cool stuff in Reading. I like the riverside complex where you can sit outside and get a glass of wine of an evening, after the kids have been driving me up the wall!”

~ Nadia, Teacher

The Boundary is a really good bar; awesome food and a decent selection of beers

Spencer
Marketing



It’s really easy to get around Reading, I like Be at One, it’s a great bar that stays open late into the night.

Ellie
Beauty Therapist



I like it down at the canal, by the Oracle where all the shops and restaurants are.

Rick
Solicitor



It’s got everything here, a wide variety of shops and restaurants; I like the smaller micro breweries like Zero Degrees.

Matt
Building Surveyor



#01

Tamp Culture Coffee // @TampCulture
Bank Holiday Monday and every body is ordering flat whites #howitshouldbe #rdguk



#02

The Oakford Social // @PeladaWild
Single launch @OAKFORDsocial #rdguk



#03

Picnic Foods // @PicnicFoods
It's raining outside, but it's raining cake in here! #rdguk #SundayMorning #rainraingoaway #cakeboss



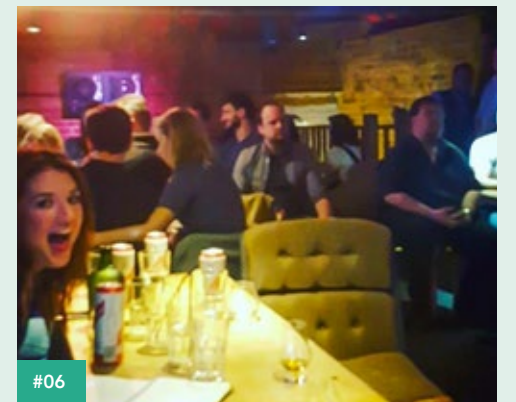
#04

The Three Guineas // @GuineasThree
History and stories to last a lifetime, So you'll have plenty of time to get to know them over a pint. #rdguk



#05

58 Barber Shop // @58BarberShop
the great 58 www.58barbershop.co.uk #rdguk



#06

Milk // @MilkReading
Brilliant atmosphere albeit merry for our Maximum event today #whisky #tasting #rdguk



#07

Valpy Street Bar & Bistro // @ValpyStreet
With the colder weather fast approaching, it's time for big, bold #comfortfood #lambshank #rdguk



#08

The Lincoln Coffee House // @LincolnCoffeeHouse
Ethically sourced, hand roasted coffee #coffee #coffeeshop #cafe #rdguk



#09

The Roseate Reading // @RoseateReading
Champagne always tastes better in a magnum #PerrierJouet #rdguk



#10

Workhouse Coffee // @WorkhouseCoffee
Getting a good caffeine fix @WorkhouseCoffee #rdguk



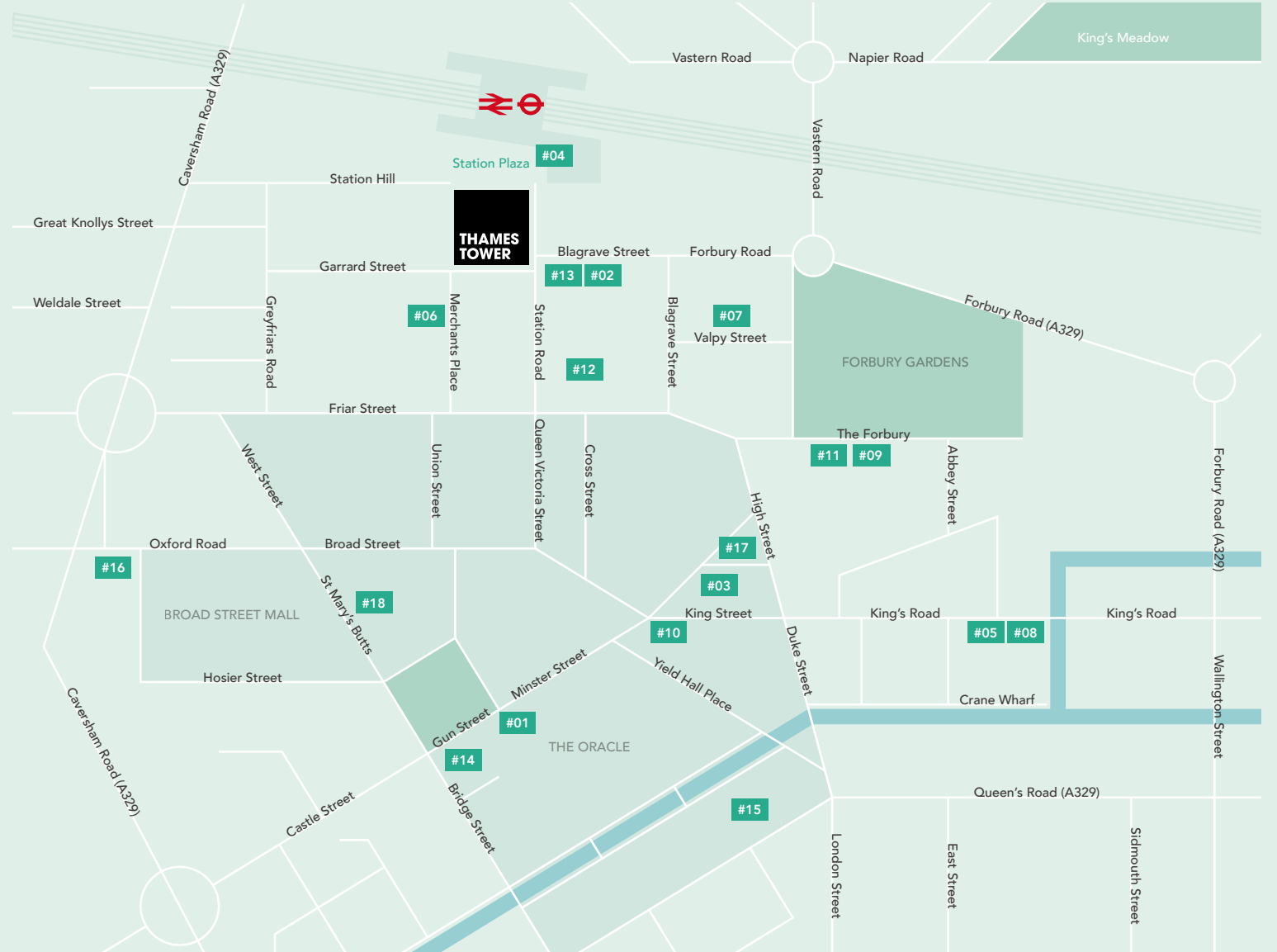
#11

Carluccios // @Carluccios
Start your day full of life with a hearty breakfast from Carluccio's. We're open from 8am



#12

The Grumpy Goat // @TheGrumpyGoat_
Lots of lovely gin donning the shelves at the moment! @MikkellerBeer @ForestGin @BobbysGin @SacredGin @sipsmith #rdguk



#13

Malmaison // @TheReadingMal
#Wine #Dinner returns to @TheReadingMal. Enjoy a taste of #France in our private dining room with #sommelier Agustin. #rdguk



#14

Zero Degrees // @ZerodegreesBeer
Monday night. You can either moan about it to yourself or come and grab a pint. Then moan about it with mates. #rdguk



#15

Miller & Carter // @MillerandCarter
We're guessing those plates weren't empty for long #millerandcarter #raisesthesteaks #rdguk



#16

Penta Hotel // @PentaHotels
When it tastes this good, mamma says it's ok to use your fingers. #yumny #food #foodporn #foodfriday #delishious



#17

Blue Collar Food // @BlueCollarFood
Feel good vibes in Reading this lunchtime #streetfood #bluecollarstreetfood #rdguk



#18

7bone Burger Co. // @7bone
Come on down, bring your whole crew!! We can feed the lot! #7Bone #dirtysexyburgers

READING TRULY IS FLUENT IN BUSINESS. REGARDED AS A LEADING TECH HUB, READING IS HOME TO NUMEROUS INNOVATIVE START-UPS THAT COMPLIMENT THE GLOBAL GIANTS, CREATING AN ENERGETIC PLATFORM WHERE BUSINESSES EXCEL.

1st

PWC GROWTH REPORT FOR CITIES IN THE UK

13

OF THE 30 TOP GLOBAL COMPANIES ARE LOCATED IN READING

40%

OF READING BUSINESSES ARE KNOWLEDGE INTENSIVE

4th

READING HAS THE 4TH HIGHEST START-UP RATE IN THE UK



MAKE YOURSELF AT HOME
Reading provides a variety of housing that suits a variety of income. Central apartments appeal to those hungry for the buzz of busy town life, while the suburbs and country offer plenty of options for those who need more space.

Average property prices		Average monthly rent	
Apartment	£231,474	One bedroom	£786
Terraced	£312,222	Two bedroom	£1,113
Semi-detached	£385,948	Three bedroom	£1,344
Detached	£556,792	Four bedroom	£1,673
		Five bedroom	£2,149

Source: homes.co.uk / February 2017

READING OCCUPIERS INCLUDE

Work/life alliance

WITH IT'S GREEN SPACES, GREAT SCHOOLS AND GREAT JOBS, IT'S NO SURPRISE THAT READING PRODUCES HAPPY, WELL-EDUCATED PEOPLE WHO ENJOY WORK AND EMBRACE LIFE.

Reading regularly leads PwC and Demos' Good Growth for Cities Index for its quality of life and income levels. It offers good schooling in both the private and state sectors. Highly regarded local independent schools include the Oratory Preparatory School and nearby Bradfield College. Local residents can enjoy The Chilterns Area of Outstanding Natural Beauty that covers 324

square miles of countryside, stretching from the River Thames by Reading, up through Buckinghamshire and Bedfordshire towards Hertfordshire. The Chiltern Hills themselves contain some of the finest landscapes in the country, which is why they are such a pull for the outdoors enthusiast.



ROAD

M4 (J10)	5.5 miles
M4 (J11)	3.5 miles
M4 (J12)	5 miles
Wokingham	9 miles
Backnell	11 miles
Maidenhead	14 miles
M3 (J3)	16 miles
Basingstoke	17 miles
Newbury	17 miles
Slough	20 miles
M25 (J15)	24 miles
Oxford	26 miles
Heathrow	28 miles
Swindon	40 miles
Central London	44 miles
Southampton	50 miles
Gatwick	56 miles
Bristol	77 miles
Birmingham	103 miles

Source: maps.google.co.uk

32 mins

DRIVE TO
HEATHROW

(28 miles)



13 mins

TO JUNCTION 11
OF THE M4

(3.5 miles)



37 miles

OF CYCLE LANES
IN READING



24 mins

TRAIN JOURNEY
TO PADDINGTON

Up to 14 trains an
hour at peak times



24

ELIZABETH LINE
TRAINS PER HOUR

From 2019



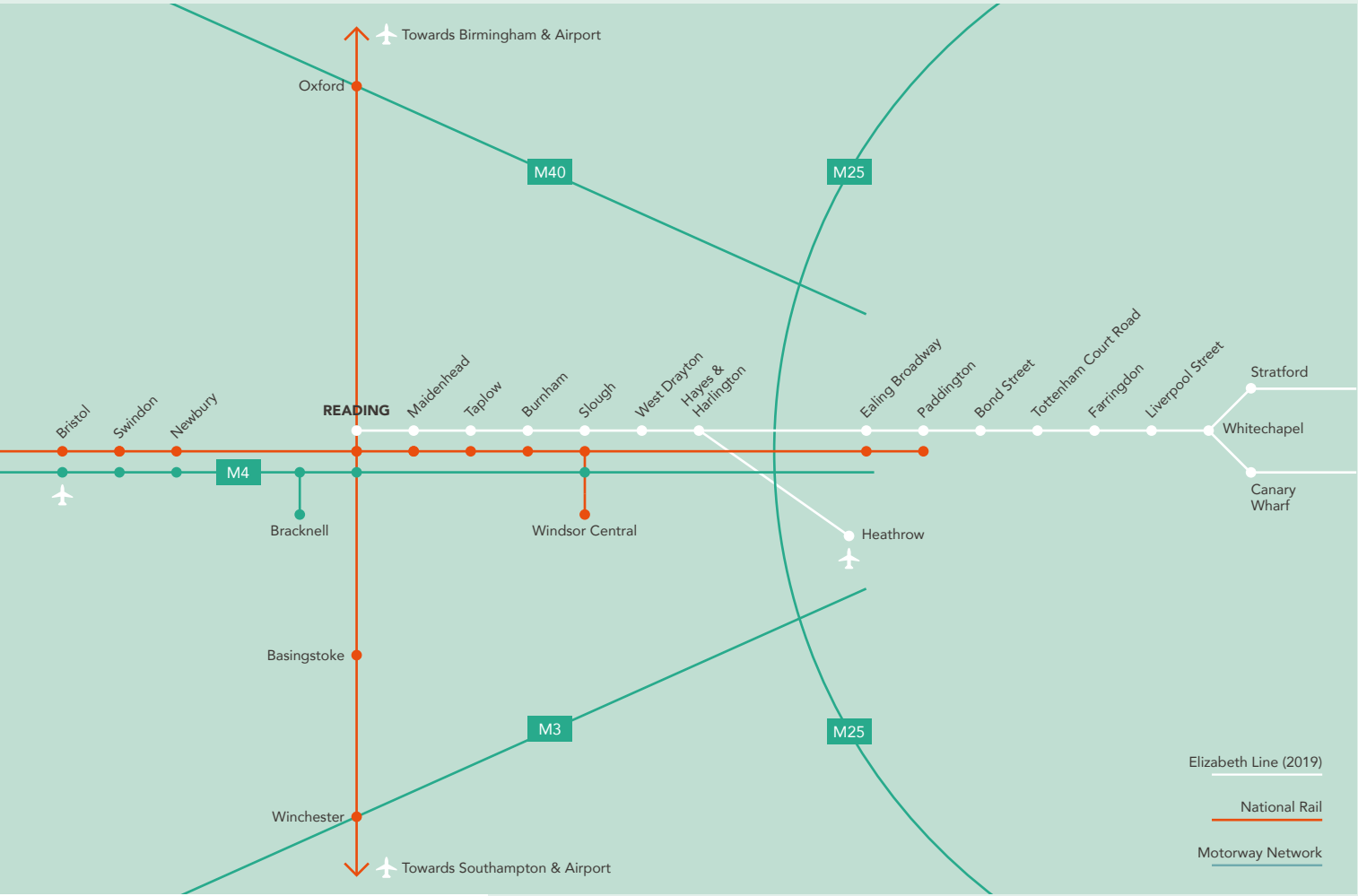
12 mins

DIRECT TRAIN
TO MAIDENHEAD



46 mins

DIRECT TRAIN TO
SOUTHAMPTON
AIRPORT



RAIL

Maidenhead	12 mins
Slough	14 mins
Oxford	23 mins
Paddington	24 mins
Windsor & Eton Central	29 mins
Heathrow	46 mins
Bristol	53 mins
Gatwick	56 mins
Birmingham Airport	76 mins
Birmingham	82 mins
Cardiff	93 mins
Cardiff	94 mins

ELIZABETH LINE (from 2019)

Maidenhead	12 mins
Slough	21 mins
Hayes & Harlington	33 mins
Heathrow	38 mins
Paddington	50 mins
Bond Street	53 mins
Tottenham Court Road	55 mins
Farringdon	58 mins
Liverpool Street	61 mins
Whitechapel	64 mins
Canary Wharf	67 mins

Sources: nationalrail.co.uk / crossrail.co.uk



40 metres

TO READING
TRAIN STATION

Mainline & Elizabeth Line



16 million

PASSENGERS
A YEAR

use Reading Station





Darren Parkinson
dparkinson@parkinsonholt.com
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The facts contained in this brochure are correct to the best of our knowledge, but (legally) please make sure you don't take our word for it. 2021.



We take all available steps to look after the environment, which is why this brochure is printed on paper from renewable sources.

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